



Community Planning & Permitting

Courthouse Annex • 2045 13th Street • Boulder, Colorado 80302 • Tel: 303-441-3930
Mailing Address: P.O. Box 471 • Boulder, Colorado 80306 • www.BoulderCounty.org

MEMO TO: County Transportation, Health, and Parks Departments, FPD
FROM: Katy Thompson, Staff Planner
DATE: June 1, 2021
RE: Site Plan Review application SPR-21-0050

Docket SPR-21-0050: Rastratter Manring Residence

Request: Site Plan Review for the construction of a 3,367-square-foot residence on a 2.61-acre parcel.
Location: 783 Dixon Road, Section 13, Township 1N, Range 72W
Zoning: Forestry (F) Zoning District
Applicants/Owners: David Rastratter and Rachael Manring
Agent: Steve Scribner, Shape Architecture Studio

Site Plan Review by the Boulder County Community Planning & Permitting Director is required for new building/grading/access or floodplain development permits in the plains and mountainous areas of unincorporated Boulder County. The subject review process considers potential significant impact to the ecosystem, surrounding land uses and infrastructure, and safety concerns due to natural hazards.

The Community Planning & Permitting staff values comments from individuals and referral agencies. Please check the appropriate response below or send a letter to the Community Planning & Permitting Department at P.O. Box 471, Boulder, Colorado 80306 or via email to planner@bouldercounty.org. All comments will be made part of the public record and given to the applicant. Only a portion of the submitted documents may have been enclosed; you are welcome to call the Community Planning & Permitting Department at 303-441-3930 or email planner@bouldercounty.org to request more information.

Please return responses by **June 21, 2021**
(Please note that due to circumstances surrounding COVID-19, application timelines and deadlines may need to be modified as explained in the CPP Notice of Emergency Actions issued March 23, 2020 (see <https://boco.org/covid-19-cpp-notice-20200323>)).

_____ We have reviewed the proposal and have no conflicts.

_____ Letter is enclosed.

Signed _____ PRINTED Name _____

Agency or Address _____



Boulder County Land Use Department

Courthouse Annex Building
 2045 13th Street • PO Box 471 • Boulder, Colorado 80302
 Phone: 303-441-3930
 Email: planner@bouldercounty.org
 Web: www.bouldercounty.org/lu
 Office Hours: Mon., Wed., Thurs., Fri. 8 a.m. to 4:30 p.m.
 Tuesday 10 a.m. to 4:30 p.m.

Shaded Areas for Staff Use Only
Intake Stamp

Planning Application Form

The Land Use Department maintains a submittal schedule for accepting applications. Planning applications are accepted on Mondays, by appointment only. Please call 303-441-3930 to schedule a submittal appointment.

Project Number		Project Name	
<input type="checkbox"/> Appeal <input type="checkbox"/> Correction Plat <input type="checkbox"/> Exemption Plat <input type="checkbox"/> Final Plat <input type="checkbox"/> Limited Impact Special Use <input type="checkbox"/> Limited Impact Special Use Waiver <input type="checkbox"/> Location and Extent	<input type="checkbox"/> Modification of Site Plan Review <input type="checkbox"/> Modification of Special Use <input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Resubdivision (Replat) <input type="checkbox"/> Rezoning	<input type="checkbox"/> Road Name Change <input type="checkbox"/> Road/Easement Vacation <input checked="" type="checkbox"/> Site Plan Review <input type="checkbox"/> Site Plan Review Waiver <input type="checkbox"/> Sketch Plan <input type="checkbox"/> Special Use/SSDP	<input type="checkbox"/> Special Use (Oil & Gas development) <input type="checkbox"/> State Interest Review (1041) <input type="checkbox"/> Subdivision Exemption <input type="checkbox"/> Variance <input type="checkbox"/> Other:
Location(s)/Street Address(es)			
783 Dixon Road, Unincorporated, CO 80302			
Subdivision Name Gold Run - MT			
Lot(s) Lot 5	Block(s)	Section(s)	Township(s)
Area in Acres 2.61	Existing Zoning F	Existing Use of Property Undeveloped	Number of Proposed Lots 1
Proposed Water Supply County		Proposed Sewage Disposal Method Septic	

Applicants:

Applicant/Property Owner David Rastratter and Rachael Manning			Email drast2@comcast.net
Mailing Address 1935 Prospect Pl			
City Greeley	State CO	Zip Code 80631	Phone
Applicant/Property Owner/Agent/Consultant Steve Scribner - Shape Architecture Studio			Email steve@shapearchitect.com
Mailing Address 23 N Lincoln St, Suite 200			
City Denver	State CO	Zip Code 80203	Phone 970.708.9535
Agent/Consultant			Email
Mailing Address			
City	State	Zip Code	Phone

Certification (Please refer to the Regulations and Application Submittal Package for complete application requirements.)

I certify that I am signing this Application Form as an owner of record of the property included in the Application. I certify that the information and exhibits I have submitted are true and correct to the best of my knowledge. I understand that all materials required by Boulder County must be submitted prior to having this matter processed. I understand that public hearings or meetings may be required. I understand that I must sign an Agreement of Payment for Application processing fees, and that additional fees or materials may be required as a result of considerations which may arise in the processing of this docket. I understand that the road, school, and park dedications may be required as a condition of approval. I understand that I am consenting to allow the County Staff involved in this application or their designees to enter onto and inspect the subject property at any reasonable time, without obtaining any prior consent.

All landowners are required to sign application. If additional space is needed, attach additional sheet signed and dated.

Signature of Property Owner 	Printed Name DAVID RASTATTER	Date 5/25/21
Signature of Property Owner 	Printed Name RACHAEL MANNING	Date 5/25/21

The Land Use Director may waive the landowner signature requirement for good cause, under the applicable provisions of the Land Use Code.



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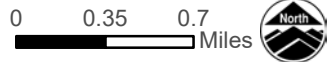
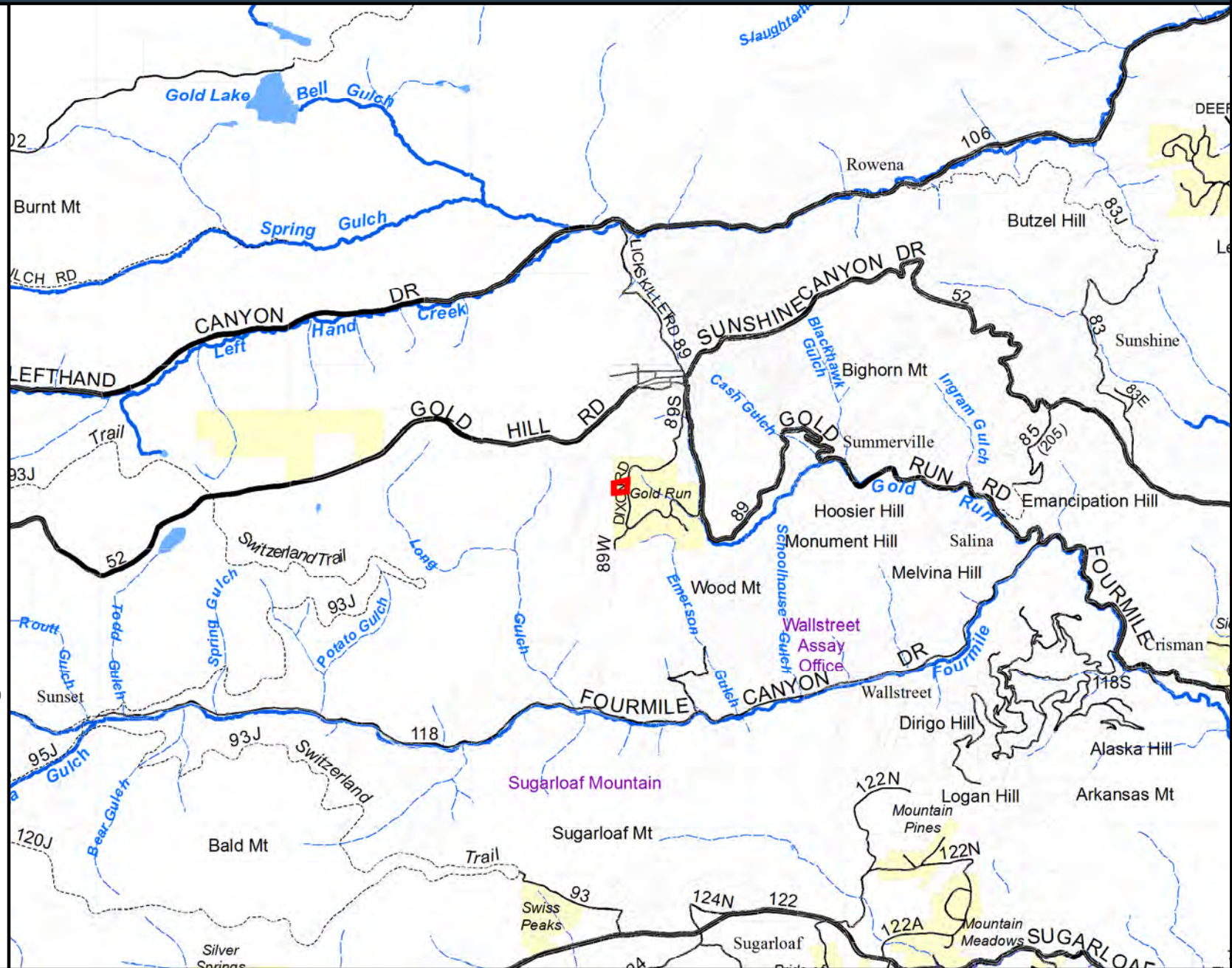
Vicinity

783 DIXON RD

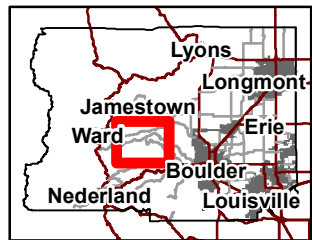
Subject Parcel

Subdivisions

Subdivisions



Area of Detail Date: 12/22/2020



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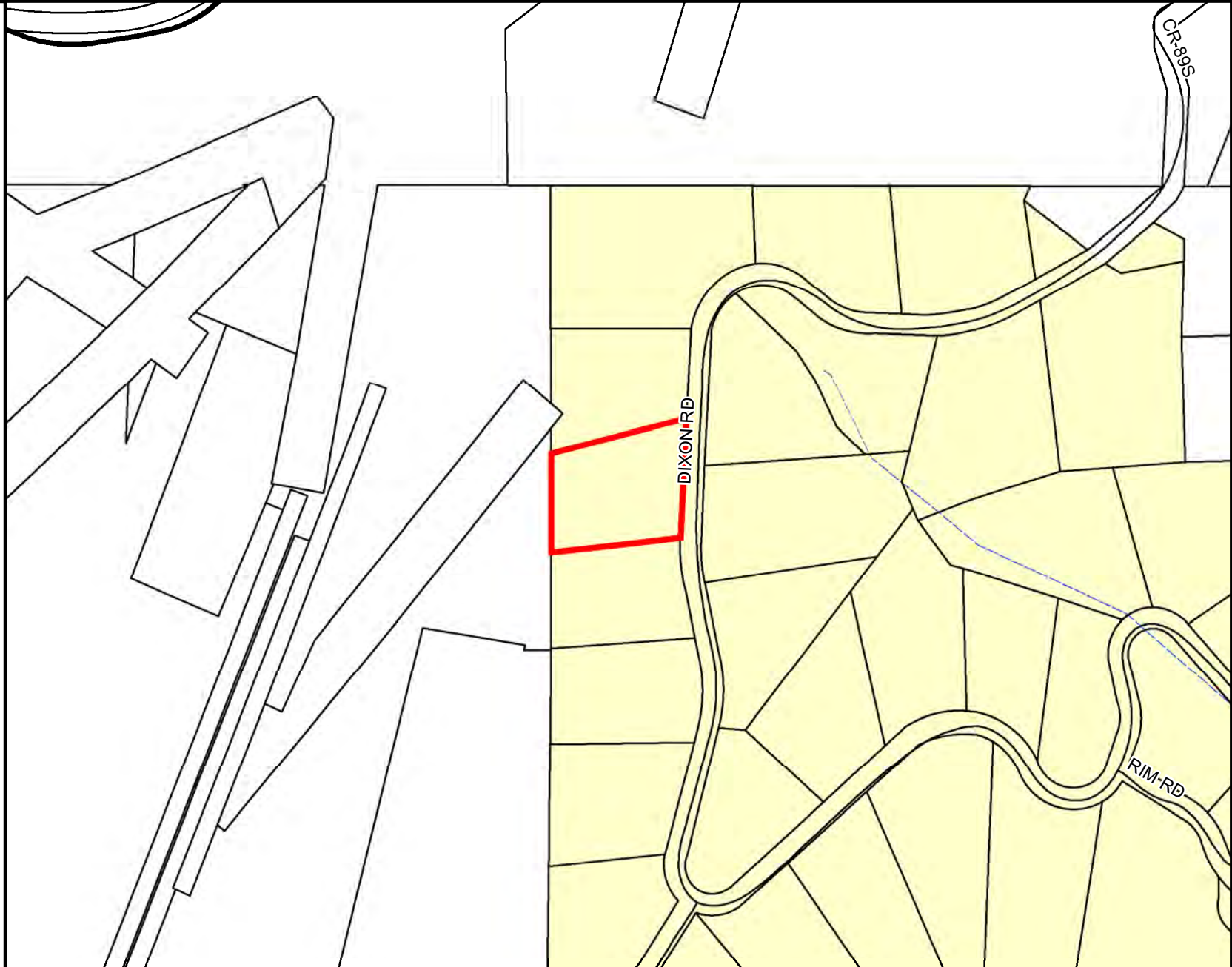
Location

783 DIXON RD

 Subject Parcel

Subdivisions

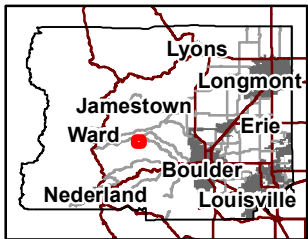
 Subdivisions



0 0.035 0.07 Miles



Area of Detail Date: 12/22/2020



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Aerial

783 DIXON RD

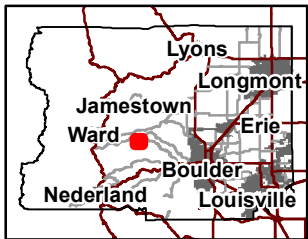
 Subject Parcel



0 0.05 0.1 Miles



Area of Detail Date: 12/22/2020




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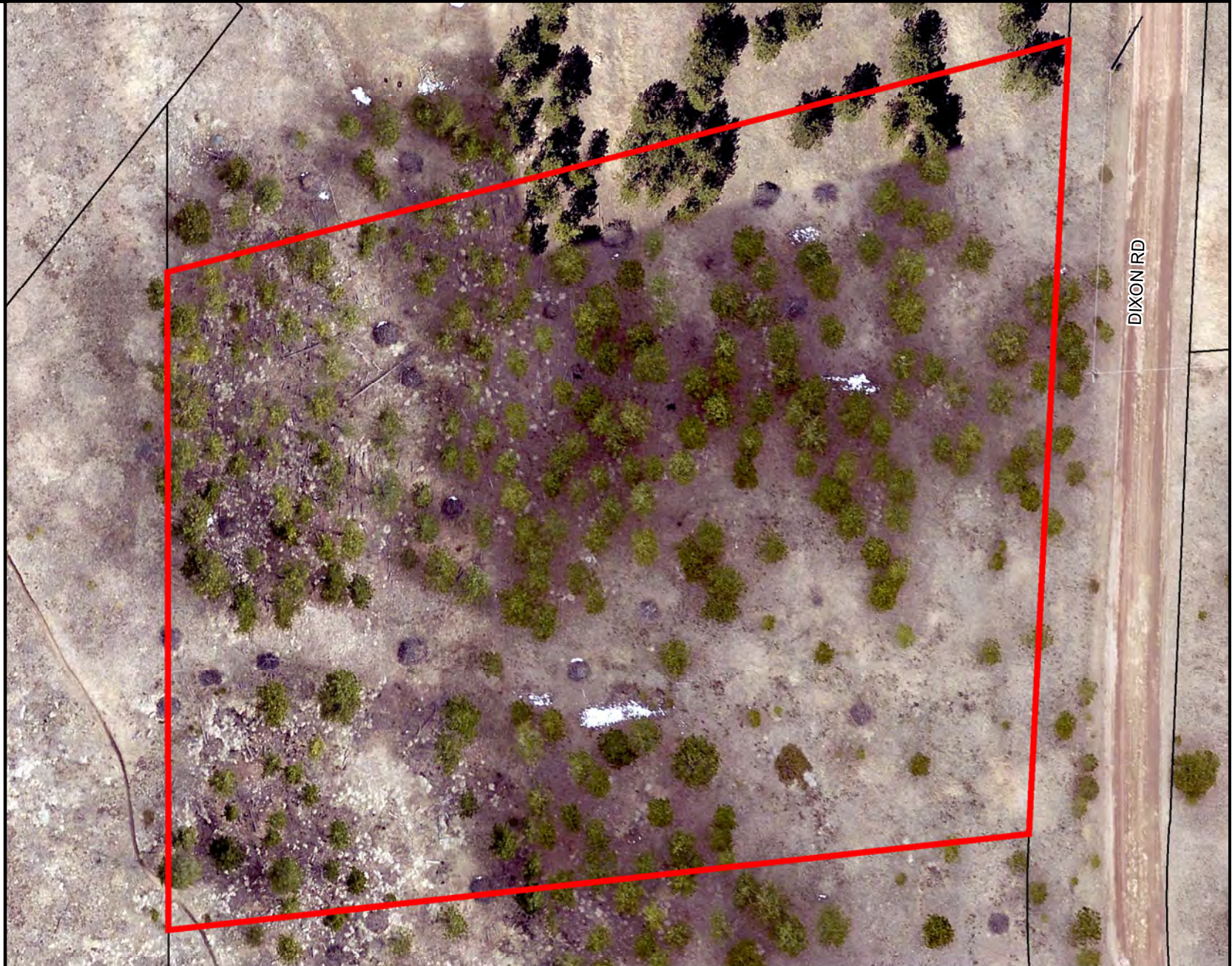


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Aerial
783 DIXON RD

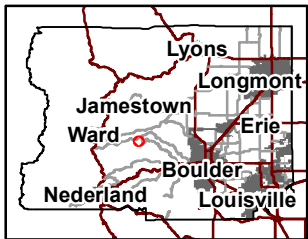
 Subject Parcel



0 0.005 0.01
Miles



Area of Detail Date: 12/22/2020



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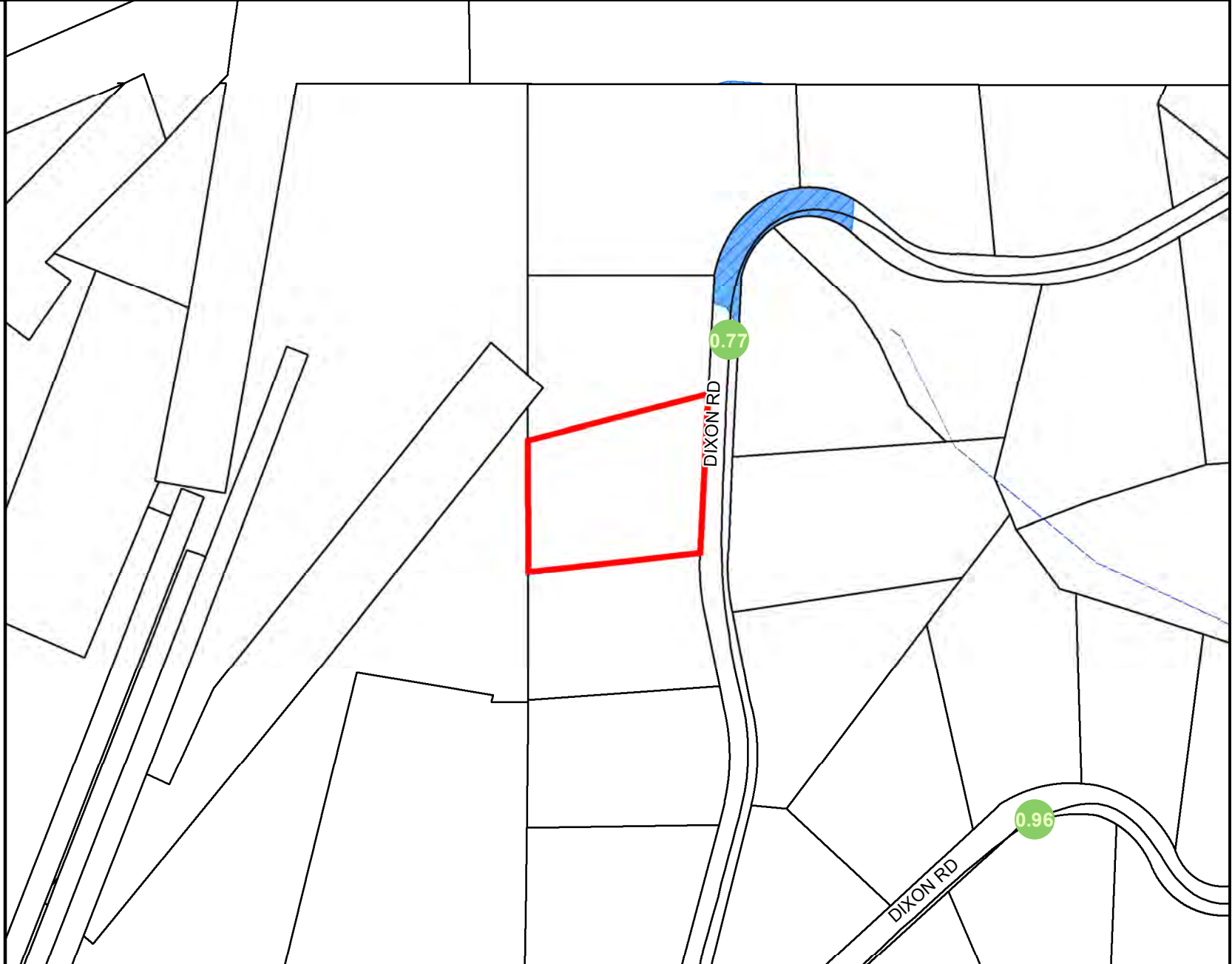
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Comprehensive Plan

783 DIXON RD

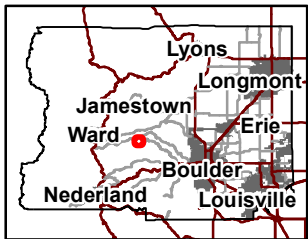
-  Subject Parcel
-  Riparian Areas
-  Wetlands



0 0.025 0.05 Miles



Area of Detail Date: 12/22/2020



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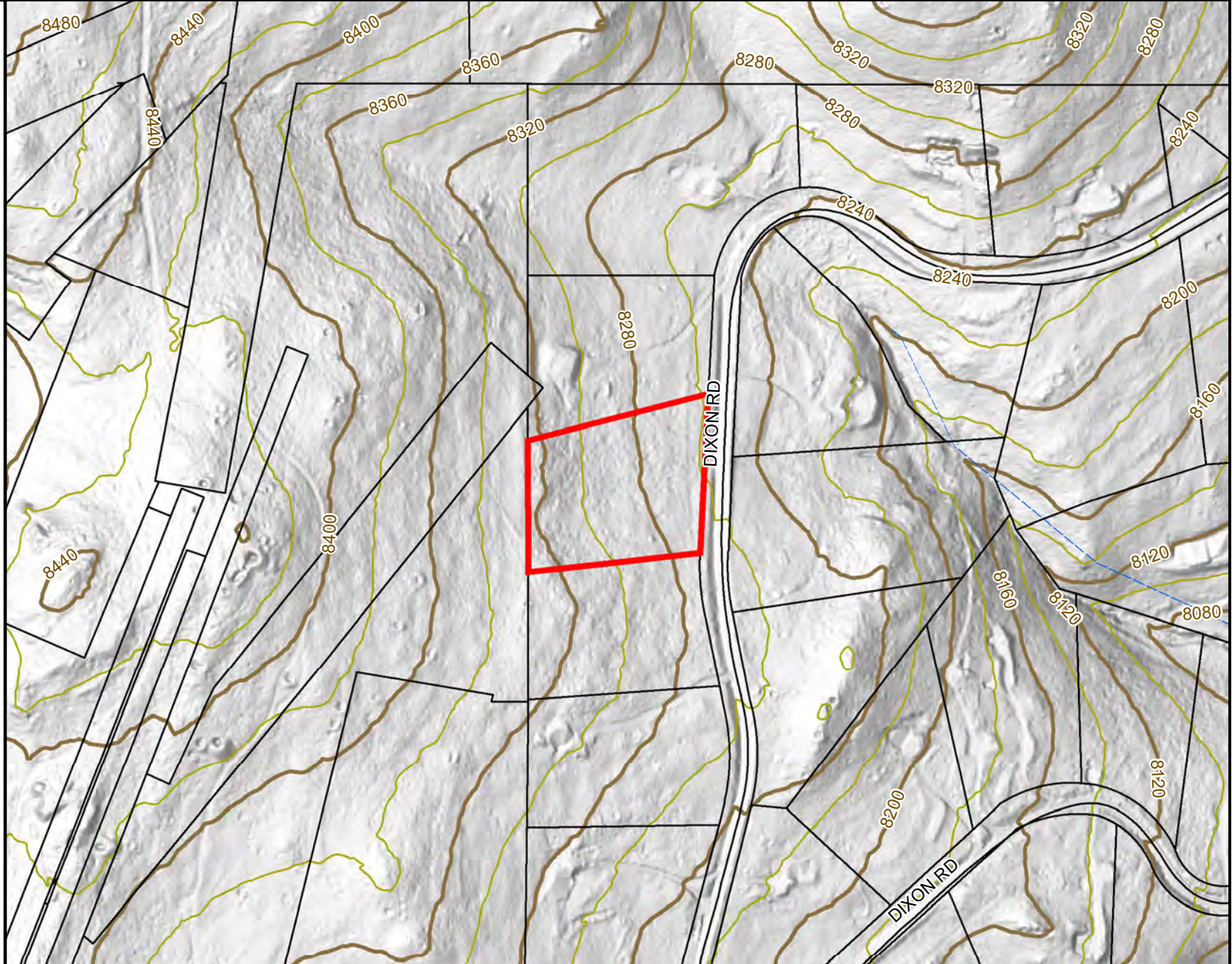
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Elevation Contours

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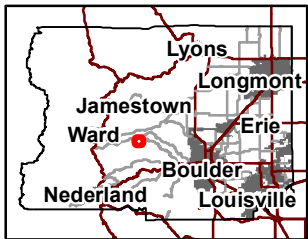
-  Subject Parcel
-  Contours 40'
-  Contours 20'



0 0.025 0.05 Miles



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Public Lands & CEs

783 DIXON RD

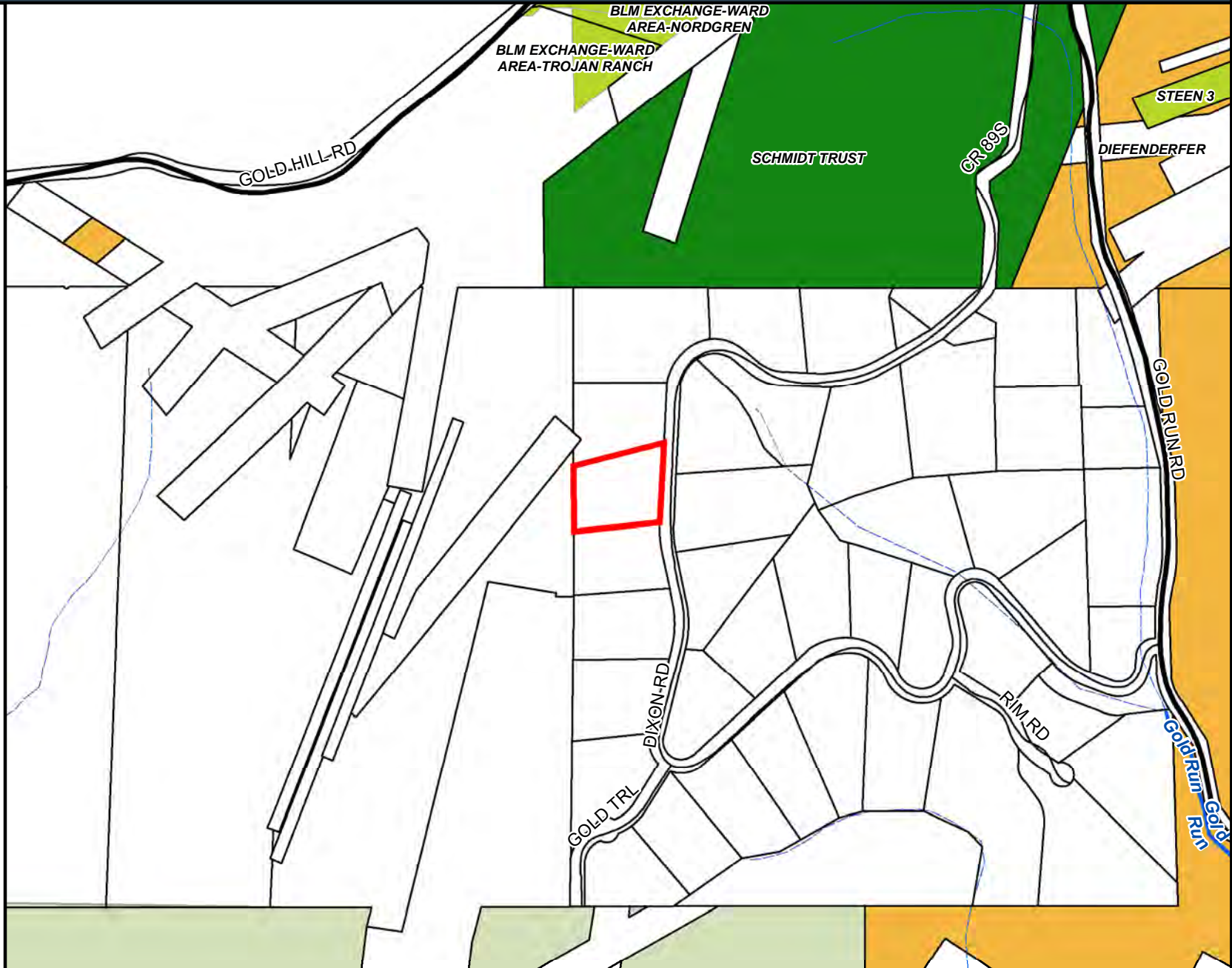
Subject Parcel

Boulder County Open Space

- County Open Space
- Conservation Easement

Federal Lands

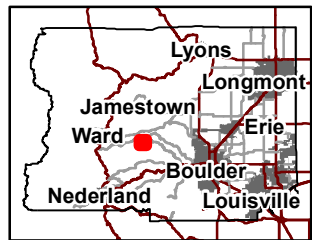
- USFS Land
- BLM Land



0 0.05 0.1 Miles



Area of Detail Date: 12/22/2020



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Site Plan Review Fact Sheet

The applicant(s) is/are required to complete each section of this Site Plan Review (SPR) Fact Sheet even if the information is duplicated elsewhere in the SPR application. Completed Fact Sheets reduce the application review time which helps expedite the Director's Determination. Please make duplicates of this SPR Fact Sheet if the project involves more than two structures.

Structure #1 Information

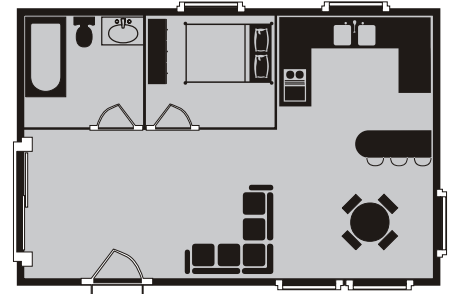
Type of Structure: (e.g. residence, studio, barn, etc.)		Residence, Garage			
Total Existing Floor Area: (Finished + Unfinished square feet including garage if attached.)		0 sq. ft.		Deconstruction: 0 sq. ft.	
Are new floor areas being proposed where demolition will occur? <input type="checkbox"/> No <input type="checkbox"/> Yes (include the new floor area square footage in the table below)					
Proposed Floor Area (New Construction Only)				<input checked="" type="checkbox"/> Residential <input type="checkbox"/> Non-Residential	
	Finished	Unfinished	Total	Height (above existing grade)	MAX 25'-9"
Basement:	0 sq. ft.	724.5 sq. ft.	724.5 sq. ft.	Exterior Wall Material	RUSTED CORRUGATED STEEL
First Floor:	1,224.0 sq. ft.	0 sq. ft.	1,224.0 sq. ft.	Exterior Wall Color	RUST RED
Second Floor:	794.8 sq. ft.	0 sq. ft.	794.8 sq. ft.	Roofing Material	STANDING SEAM METAL
Garage: <input checked="" type="checkbox"/> Detached <input type="checkbox"/> Attached	sq. ft.	624.0 sq. ft.	624.0 sq. ft.	Roofing Color	DARK GREY
*Covered Porch:	sq. ft.	705.0 sq. ft.	705.0 sq. ft.	Total Bedrooms	2
*PORCH NOT INCLUDED		Total: 2018.8 sq. ft. 1,348.0 sq. ft. 3,367.3 sq. ft.			

Project Identification:

Project Name:
Property Address/Location:
Current Owner:
Size of Property in Acres:

Determining Floor Area

Floor Area is measured in terms of square feet. The total square footage is as everything within the exterior face of the exterior walls including garages and basements. **Covered porch area that is attached to the principal structure is not included (see Article 18-131A).** The shaded area on the diagram indicates the area counted as square feet.



Structure #2 Information

Type of Structure: (e.g. residence, studio, barn, etc.)		N/A - DETACHED GARAGE COUNTED ABOVE			
Total Existing Floor Area: (Finished + Unfinished square feet including garage if attached.)		sq. ft.		Deconstruction: sq. ft.	
Are new floor areas being proposed where demolition will occur? <input type="checkbox"/> No <input type="checkbox"/> Yes (include the new floor area square footage in the table below)					
Proposed Floor Area (New Construction Only)				<input type="checkbox"/> Residential <input type="checkbox"/> Non-Residential	
	Finished	Unfinished	Total	Height (above existing grade)	
Basement:	sq. ft.	sq. ft.	sq. ft.	Exterior Wall Material	
First Floor:	sq. ft.	sq. ft.	sq. ft.	Exterior Wall Color	
Second Floor:	sq. ft.	sq. ft.	sq. ft.	Roofing Material	
Garage: <input type="checkbox"/> Detached <input type="checkbox"/> Attached	sq. ft.	sq. ft.	sq. ft.	Roofing Color	
*Covered Porch:	sq. ft.	sq. ft.	sq. ft.	Total Bedrooms	
Total:		sq. ft.	sq. ft.	Total Bedrooms	

Residential vs. Non-Residential Floor Area

Residential Floor Area includes all attached and detached floor area (as defined in Article 18-162) on a parcel, including principal and accessory structures used or customarily used for residential purposes, such as garages, studios, pool houses, home offices and workshops. Gazebos and carports up to a total combined size of 400 square feet are exempt. Barns used for agricultural purposes are not considered residential floor area.

Note: If an existing wall(s) and/or roof(s) are removed and a new wall(s)/roof(s) are constructed, the associated floor area due to the new wall(s)/roof(s) are considered new construction and must be included in the calculation of floor area for the Site Plan Review and shown on this Fact Sheet.

If a Limited Impact Special Review is required, then call 303-441-3930 and ask for a new Pre-Application conference for the Limited Impact Special Review.

*See Article 18-131A for definition of covered porch.

Grading Calculation

Cut and fill calculations are necessary to evaluate the disturbance of a project and to verify whether or not a Limited Impact Special Review is required. Limited Impact Special Review is required when grading for a project involves more than 500 cubic yards (minus normal cut/fill and backfill contained within the foundation footprint).

If grading totals are close to the 500 yard trigger, additional information may be required, such as a grading plan stamped by a Colorado Registered Professional Engineer.

Earth Work and Grading

This worksheet is to help you accurately determine the amount of grading for the property in accordance with the Boulder County Land Use Code. Please fill in all applicable boxes.

Note: Applicant(s) must fill in the shaded boxes even though foundation work does not contribute toward the 500 cubic yard trigger requiring Limited Impact Special Use Review. Also, all areas of earthwork must be represented on the site plan.

Earth Work and Grading Worksheet: **Cut + Fill**

	Cut	Fill	Subtotal
Driveway and Parking Areas	215 cu yd	2 cu yd	217 cu yd
Berm(s)	0 cu yd	0 cu yd	0 cu yd
Other Grading house and garage, beyond 10'	51 cu yd	6 cu yd	57 cu yd
Subtotal	266 cu yd	8 cu yd	274 cu yd

Box 1

* If the total in Box 1 is greater than 500 cubic yards, then a Limited Impact Special Review is required.

	Cut	Fill	Total
Within 10' of.. Foundation	131 cu yd	13 cu yd	144 cu yd
Material cut from foundation excavation to be removed from the property			144 cu yd

Excess Material will be Transported to the Following Location:

Excess Materials Transport Location:
TBD

Narrative

Use this space to describe any special circumstances that you feel the Land Use Office should be aware of when reviewing your application, including discussion regarding any factors (listed in Article 4-806.2.b.i) used to demonstrate that the presumptive size limitation does not adequately address the size compatibility of the proposed development with the defined neighborhood. If more room is needed, feel free to attach a separate sheet.

This house is designed to comply with all applicable zoning codes and guidelines. The total area is less than the presumptive size limitation; the height is well below the 30' limit above existing grade; the total cut and fill is well under the 500 cu. yd. limit. The exterior materials are non-reflective and will not stand out against the vegetated hillside; the exterior lighting will be 100% full cut-off downlights. There is an existing driveway cut into the property which will be utilized, reducing total cut and fill.

Is Your Property Gated and Locked?

Note: If county personnel cannot access the property, then it could cause delays in reviewing your application.

Certification

I certify that the information submitted is complete and correct. I agree to clearly identify the property (if not already addressed) and stake the location of the improvements on the site within four days of submitting this application. I understand that the intent of the Site Plan Review process is to address the impacts of location and type of structures, and that modifications may be required. Site work will not be done prior to issuance of a Grading or Building Permit.

Signature 	Print Name Stephen Scribner	Date 5/24/2021
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GOLD HILL HOUSE

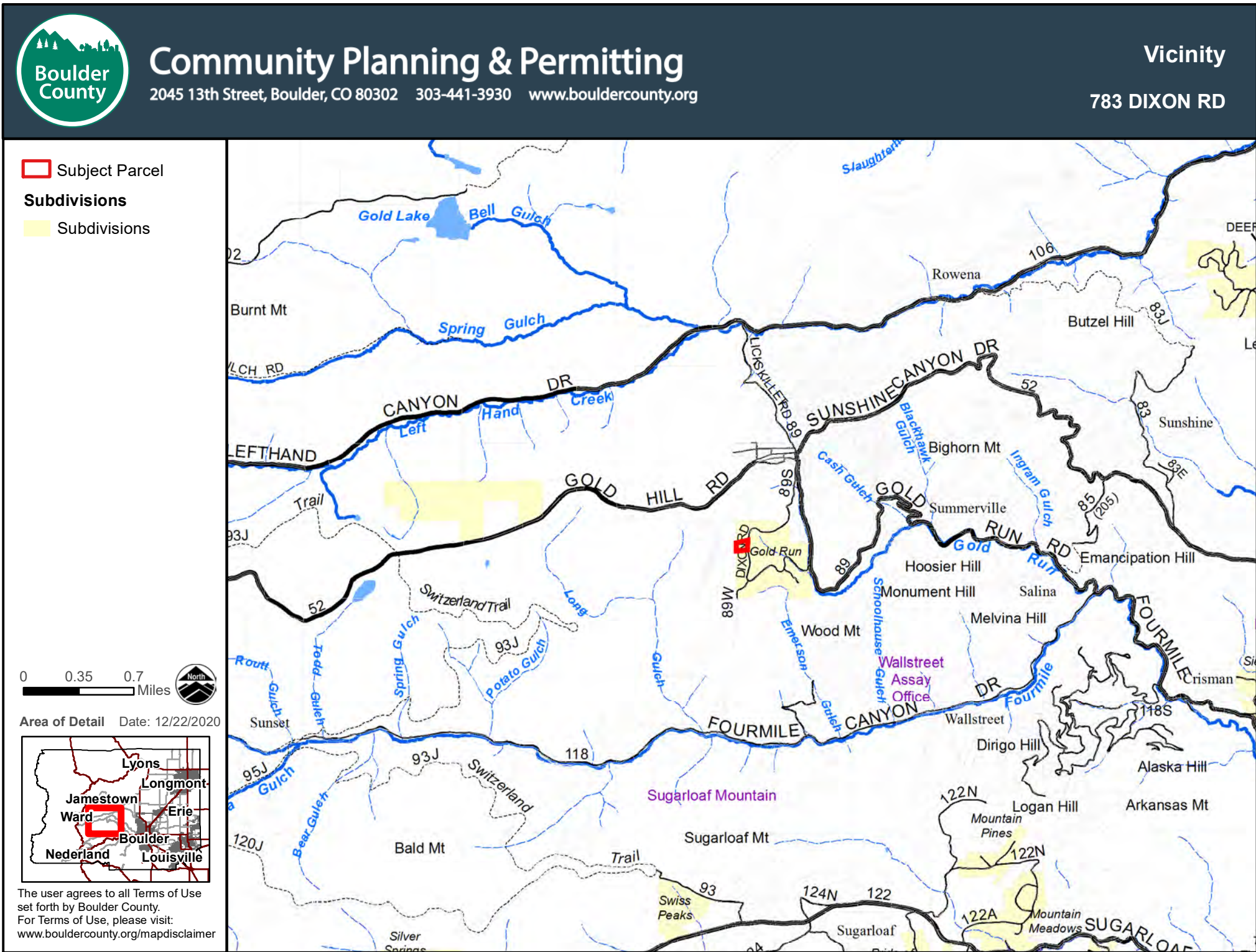
Drawings and Specifications as instruments of service are and shall remain the property of the Architect. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Architect.

The General Contractor is responsible for confirming and correlating dimensions at the job site. The Architect will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

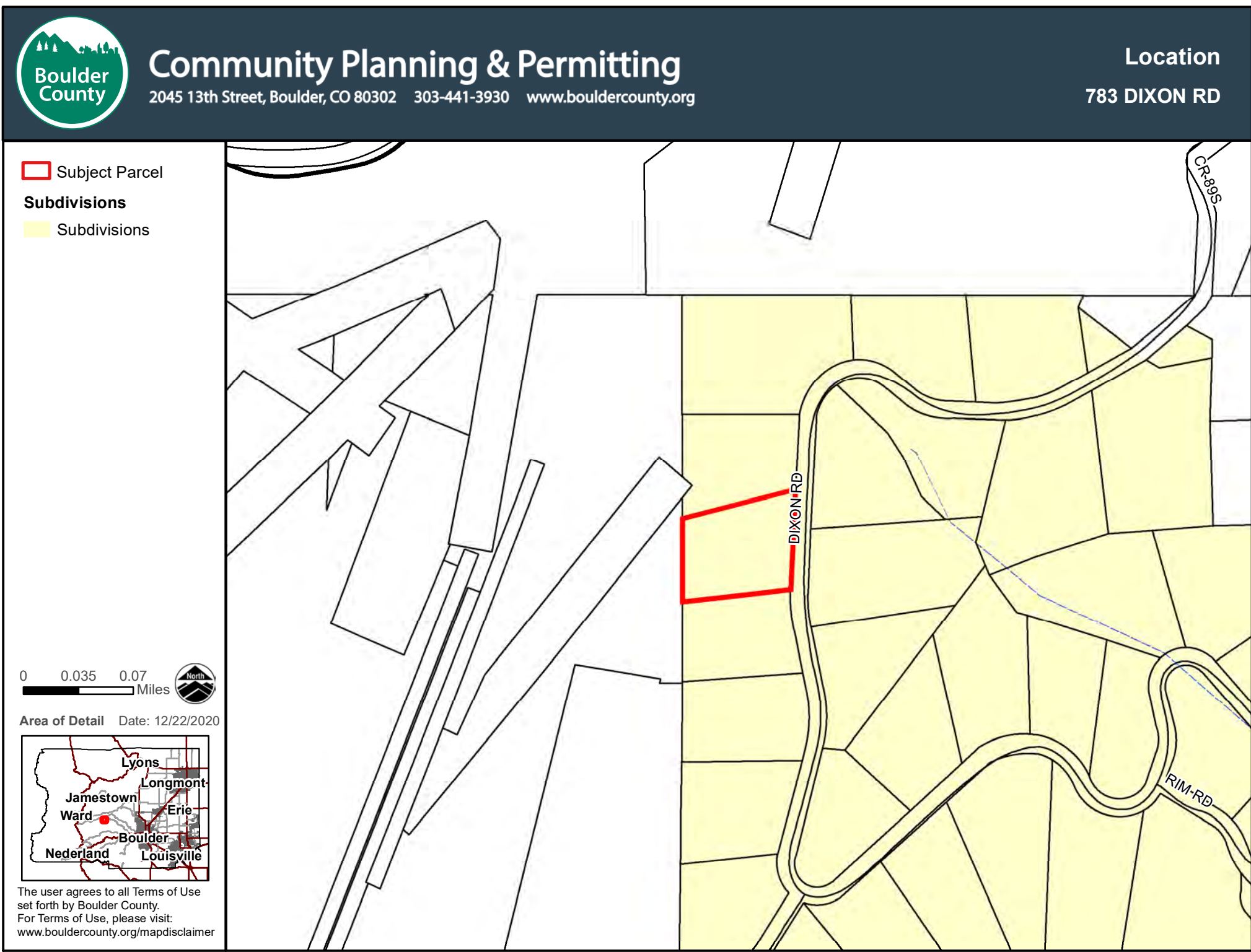
Shape Architecture Studio LLC © 2021



SINGLE FAMILY HOME
783 DIXON RD. BOULDER, CO 80302



VICINITY MAP



LOCATION MAP

General Notes

1. All work shall conform to the 2012 International Residential Code and all other applicable codes and ordinances in the Township of Solon.
2. Do not scale drawings: use calculated dimensions only. Verify existing "as-built" dimensions as req'd. All dimensions are to face of stud unless noted otherwise.
3. Verify all rough-in dimensions and locations for equipment, fixtures etc. Provide all blocking, buck-outs, backing and jacks required for installation.
4. All wood in contact with concrete to be pressure treated.
5. All flashing to be galvanized, galvalume or factory finish to be approved by architect and owner.
6. Contractor shall verify all existing conditions prior to initiating any portion of the work.
7. Provide all protection, shoring and bracing as required by site conditions in order to maintain a safe job site and protect components to remain.
8. Stair and guardrail openings to be less than 4".
9. Tight line all affected drainage to approved drainage system.
10. All framing to be properly caulked, sealed, gasketed or otherwise treated to minimize air infiltration prior to sheathing and finishing.
11. All (new) smoke detectors to be hardwired to home's electrical system.

Property Information

Project Type: New Construction
 Owner: David Rastratter and Rachael Manning
 Site Address: 783 Dixon Road,
 Unincorporated Boulder County, 80302
 Legal Description: Lot 5 Gold Run
 Zoning: F
 Setbacks: 25'-0"
 Maximum Height: 30'-0"

Scope of Work

1. New Single Family Home Construction

GROSS AREA	
LEVEL	AREA
BASEMENT	724.5
MAIN LEVEL	1,224.0
UPPER LEVEL	794.8
HOUSE TOTAL	2,743.3 sq ft
GARAGE	624.0
ZONING SF TOTAL	3,367.3 sq ft

Allowable Area: 125% of Neighborhood Median = 3,371 sq ft

EXEMPT AREAS:
 Greenhouse: 168 sq ft
 Covered Porch: 705 sq ft
 Crawlspace (<6'-8" clg ht): 482 sq ft
 Carport: 394 sq ft

Project Team

ARCHITECT
 Shape Architecture Studio LLC
 23 N Lincoln St, Suite 200
 Denver, CO 80203
 Phone: 970.708.9535
 E-mail: steve@shapearchitect.com
 Contact: Steve scribner

STRUCTURAL ENGINEER
 tbd

GENERAL CONTRACTOR
 tbd

Sheet Index

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A105	Garage Plans
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A202	South and East Elevation
A203	Garage Elevations

FOR ZONING APPROVAL ONLY

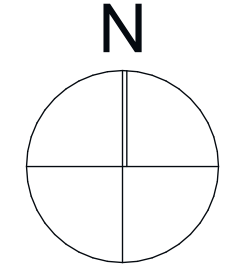
SPR APPLICATION: 5/24/21

Cover Sheet

A001



1 Site Plan
A002 SCALE: 1:256



SINGLE FAMILY HOME
783 DIXON RD. BOULDER, CO 80302

FOR
ZONING
APPROVAL
ONLY

SPR APPLICATION:	5/24/21

Site Plan

A002

SINGLE FAMILY HOME
783 DIXON RD. BOULDER, CO 80302

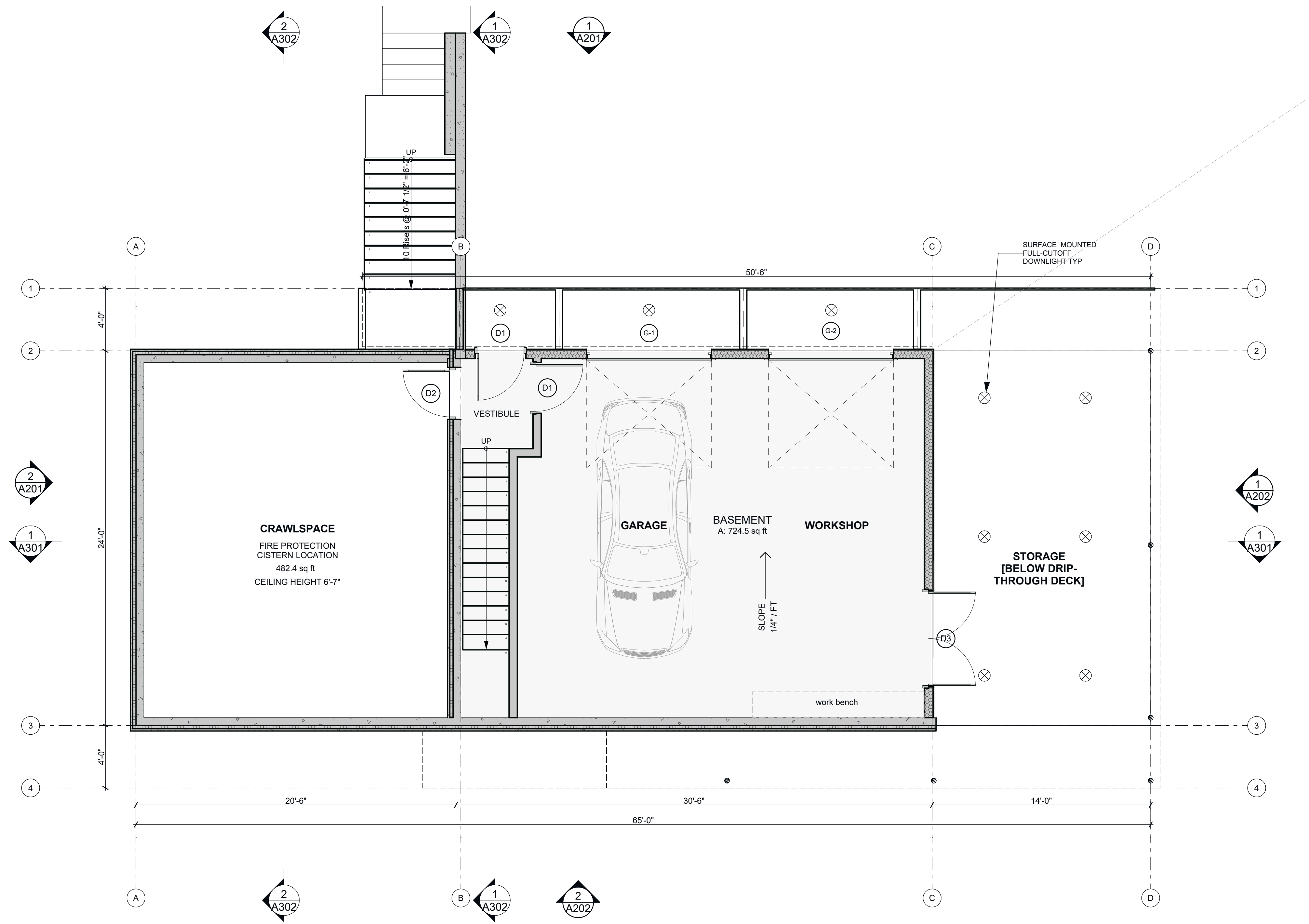
FOR
ZONING
APPROVAL
ONLY

SPR APPLICATION: 5/24/21

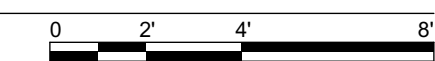
Grading Plan

A003

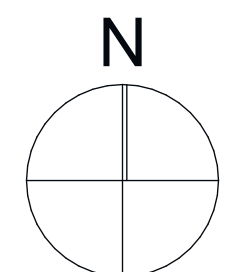




1 Lower Level
A101 SCALE: 1/4" = 1'-0"



GROSS AREA	
category	LEVEL
Building Area	BASEMENT
Building Area	MAIN LEVEL
Building Area	UPPER LEVEL



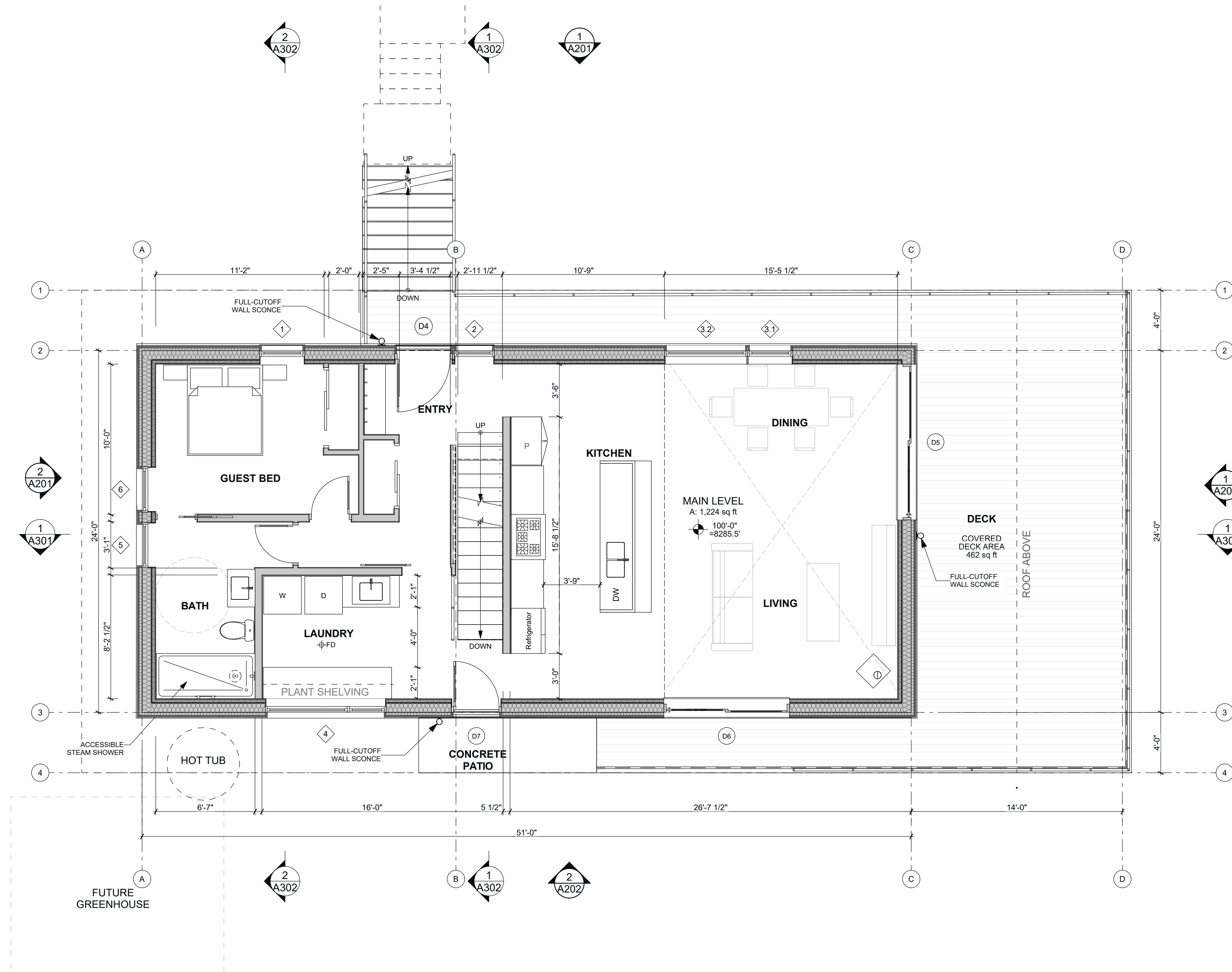
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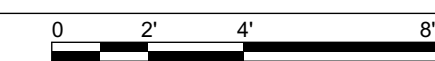
SPR APPLICATION: 5/24/21

Basement Plan

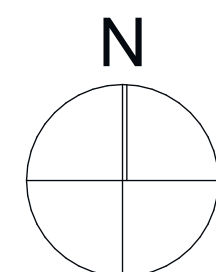
A101



1 Main Level
A102 SCALE: 1/4" = 1'-0"



GROSS AREA	
category	LEVEL
Building Area	BASEMENT
Building Area	MAIN LEVEL
Building Area	UPPER LEVEL



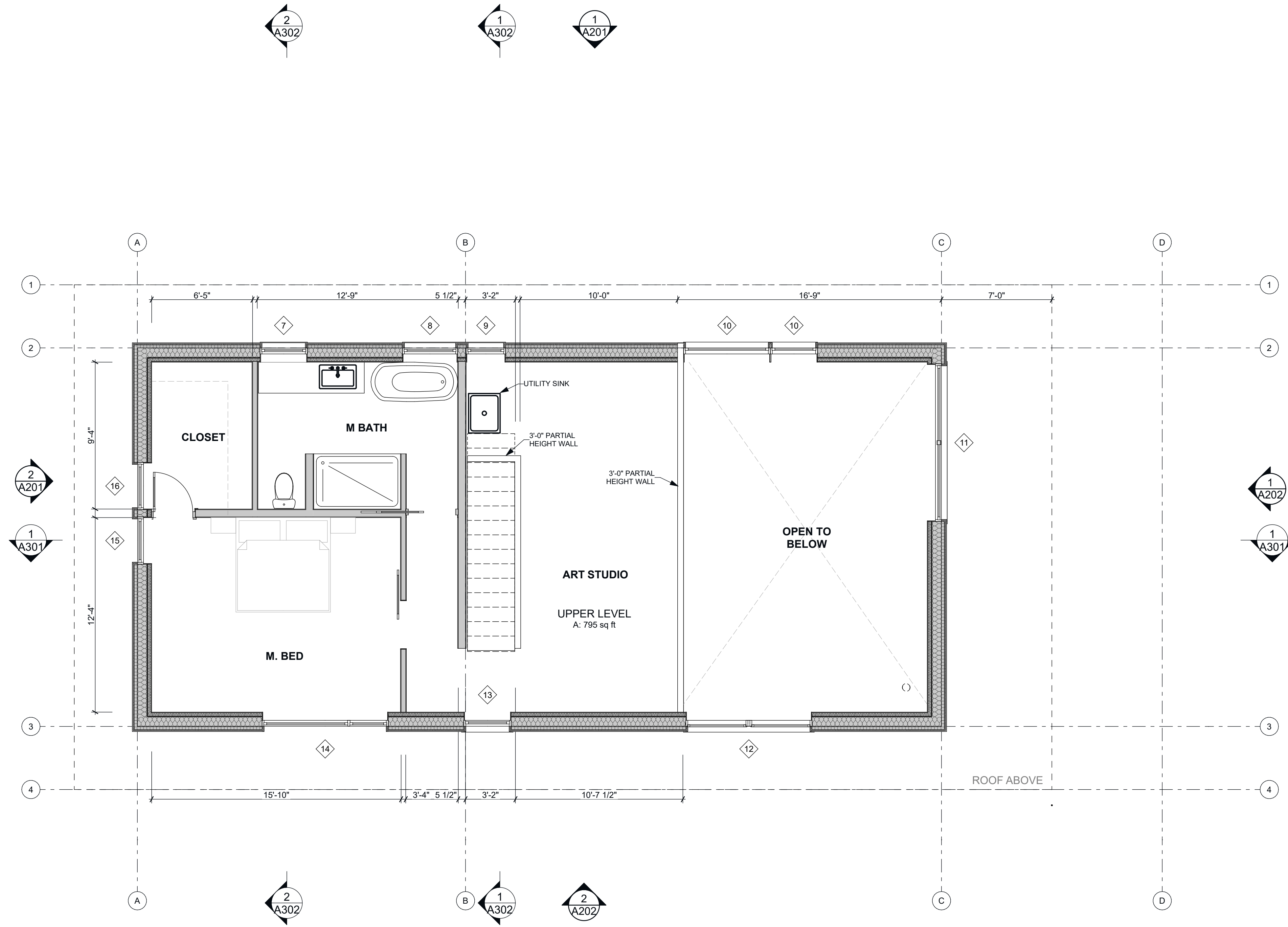
SINGLE FAMILY HOME
783 DIXON RD. BOULDER, CO 80302

FOR ZONING APPROVAL ONLY

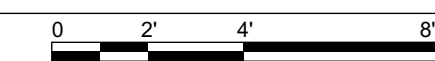
SPR APPLICATION: 5/24/21

Main Level Plan

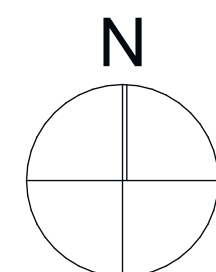
A102



1 Upper Level
A103 SCALE: 1/4" = 1'-0"



GROSS AREA	
category	LEVEL
Building Area	BASEMENT
Building Area	MAIN LEVEL
Building Area	UPPER LEVEL



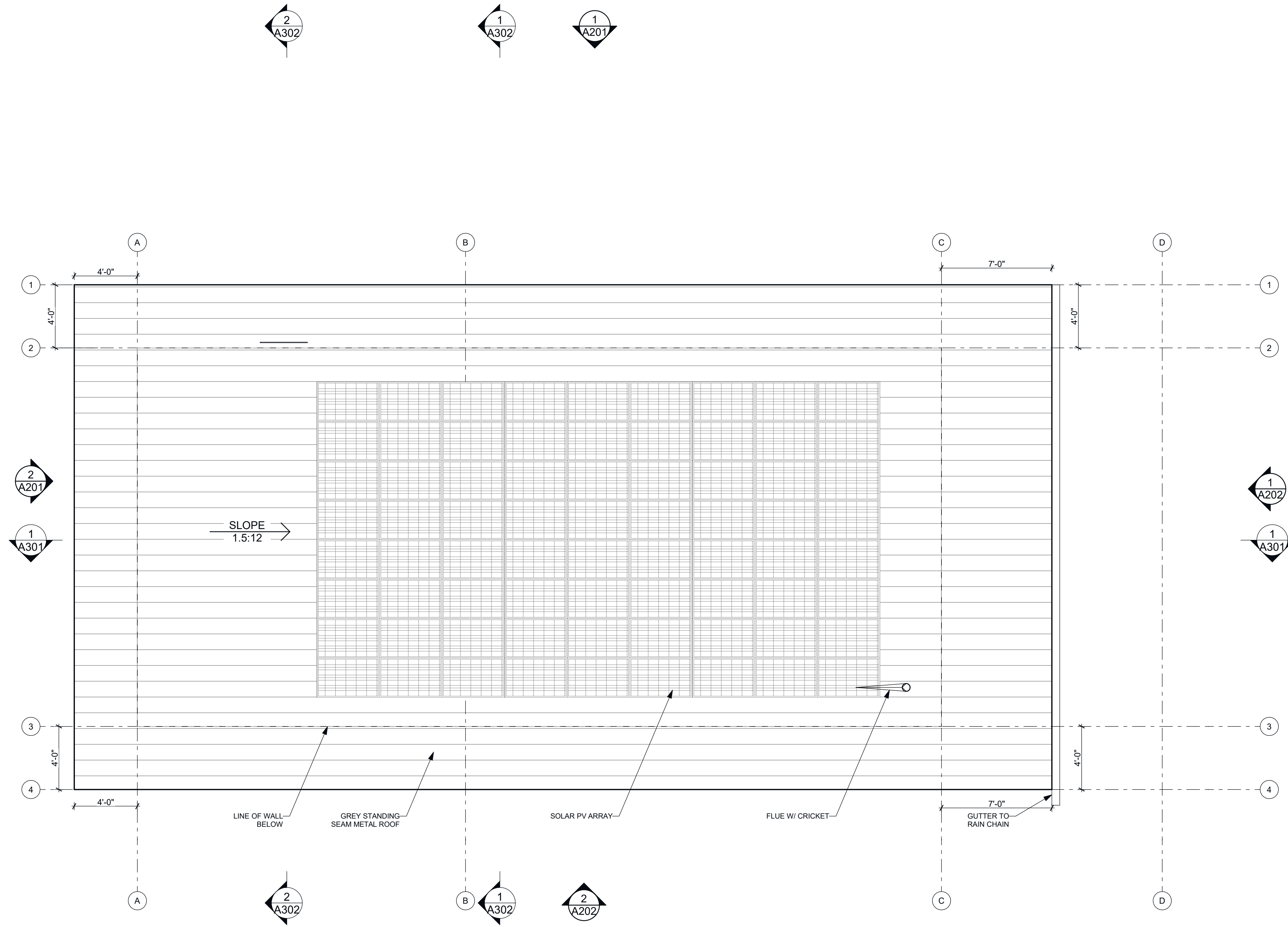
SINGLE FAMILY HOME
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FOR
ZONING
APPROVAL
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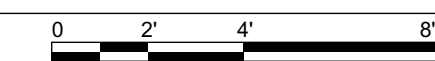
SPR APPLICATION: 5/24/21

Upper Level Plan

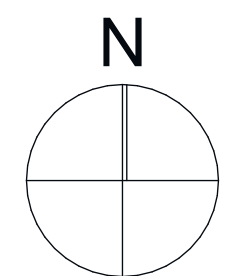
A103



2 Roof Plan
A104 SCALE: 1/4" = 1'-0"



GROSS AREA	
category	LEVEL
Building Area	BASEMENT
Building Area	MAIN LEVEL
Building Area	UPPER LEVEL

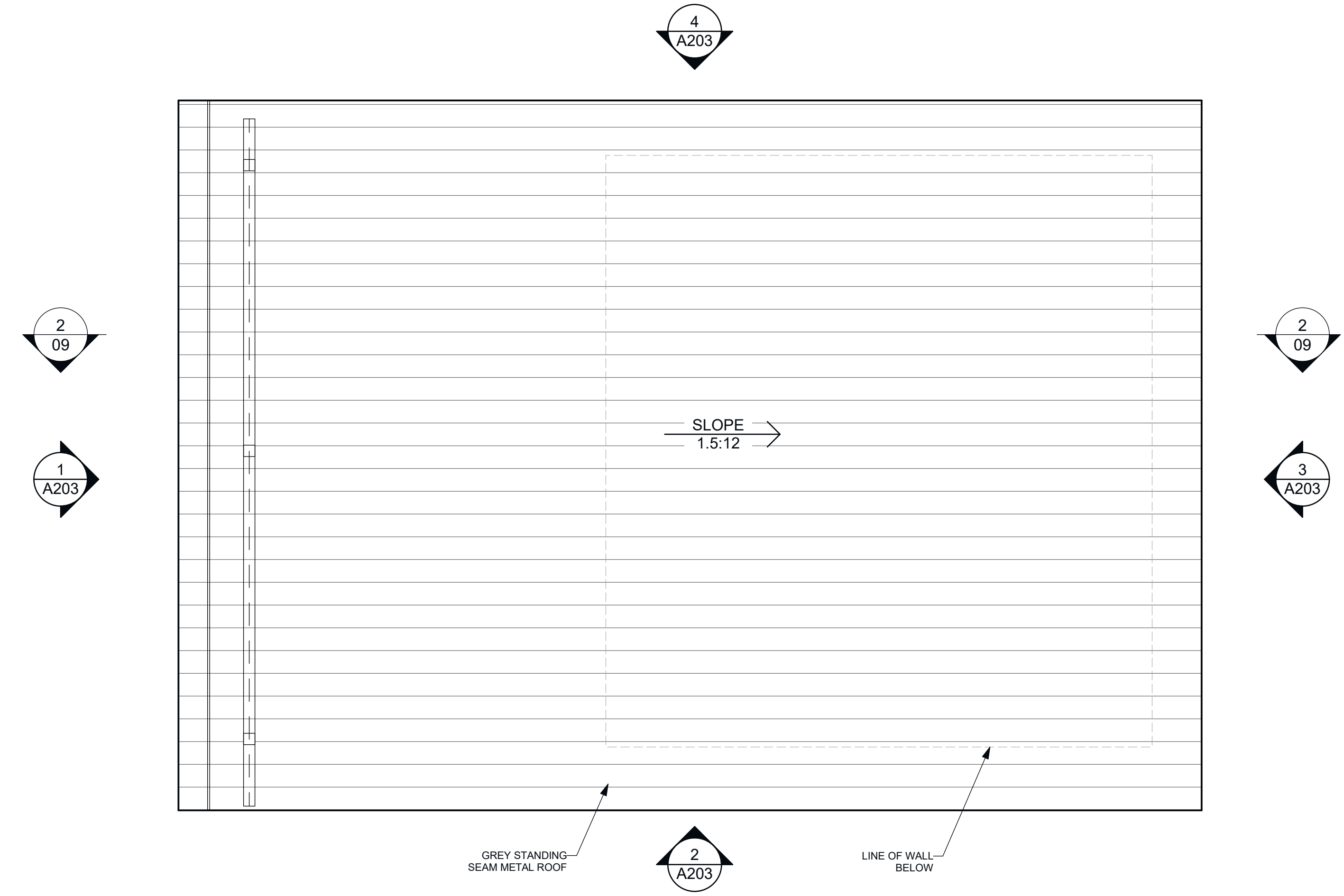


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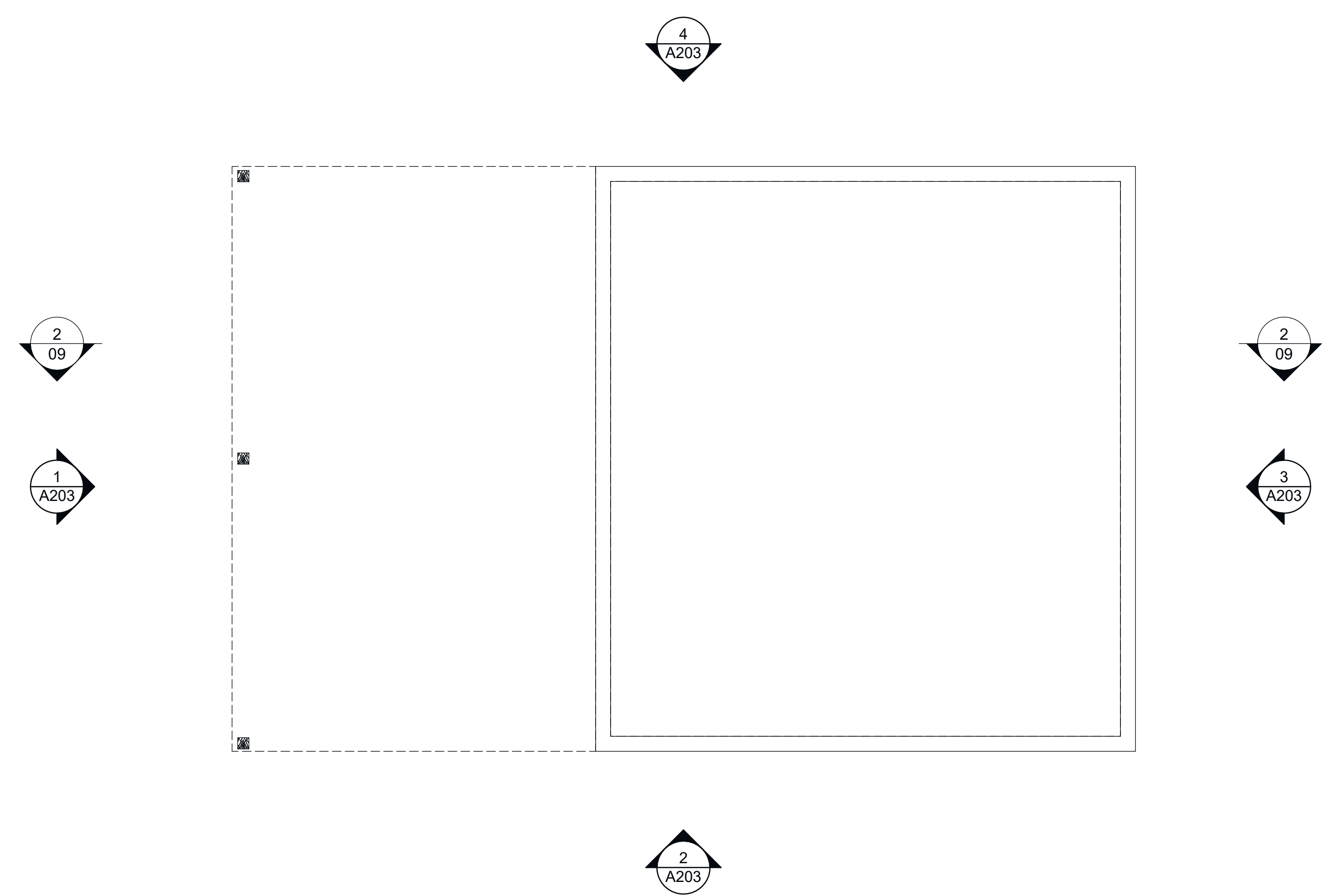
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Garage Plans

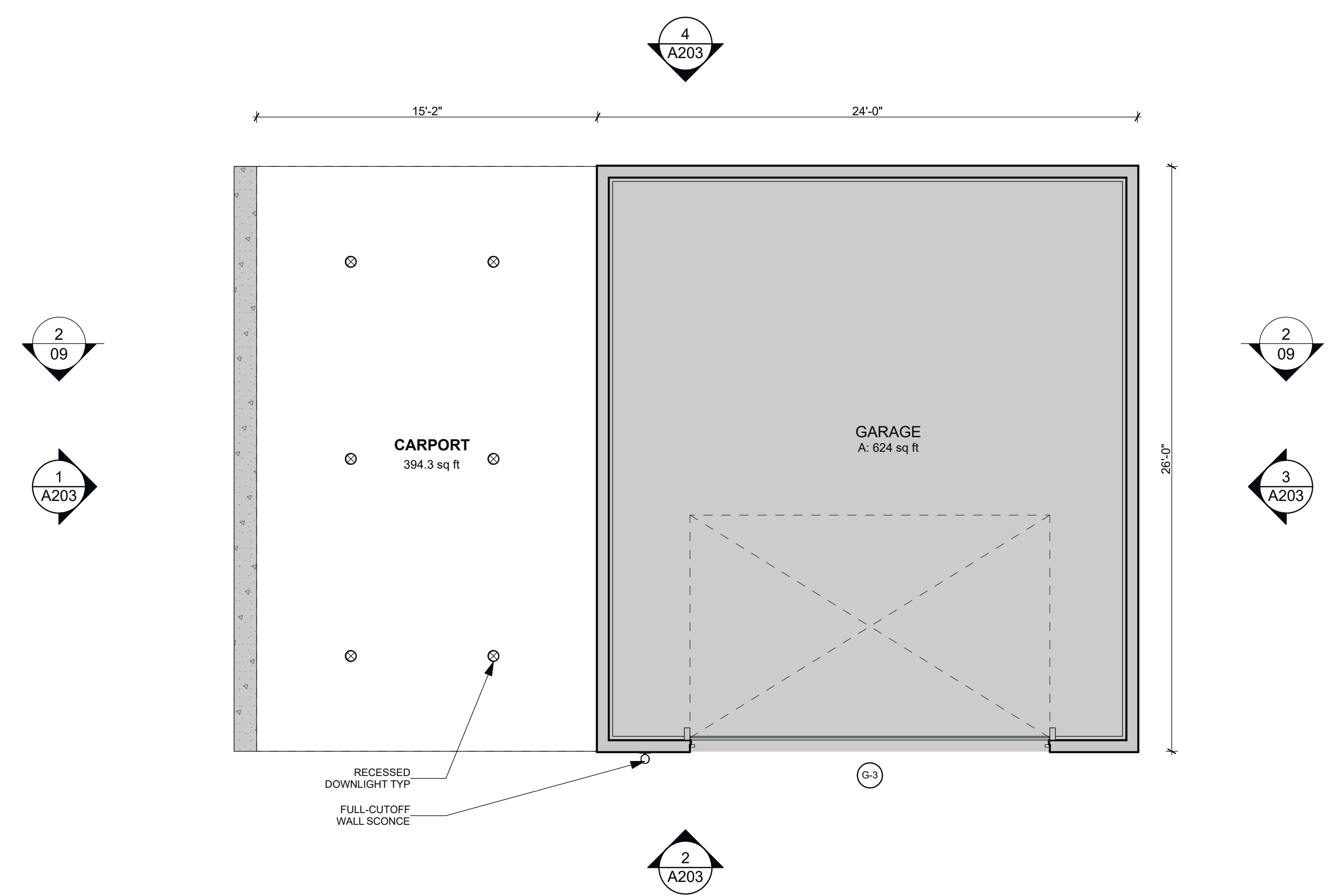
A105



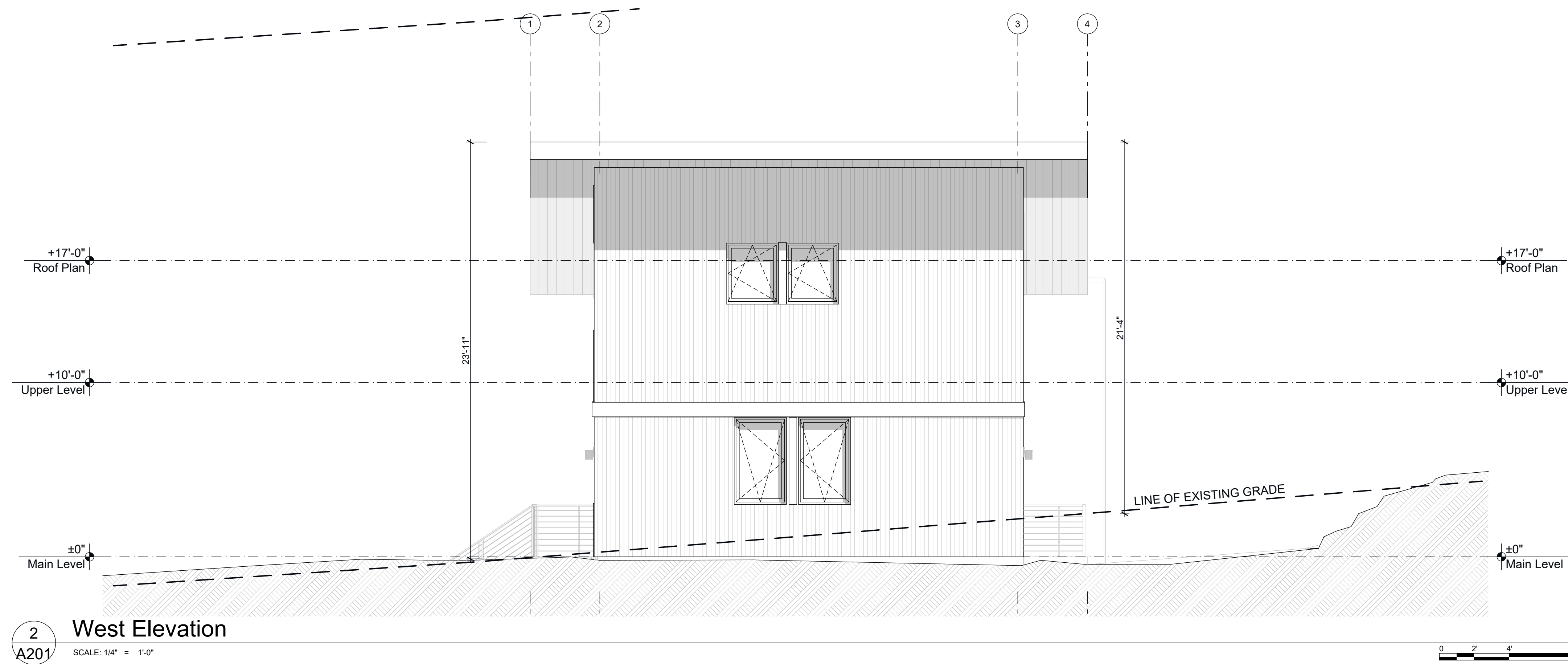
2 Garage Roof Plan
A105 SCALE: 1/4" = 1'-0"



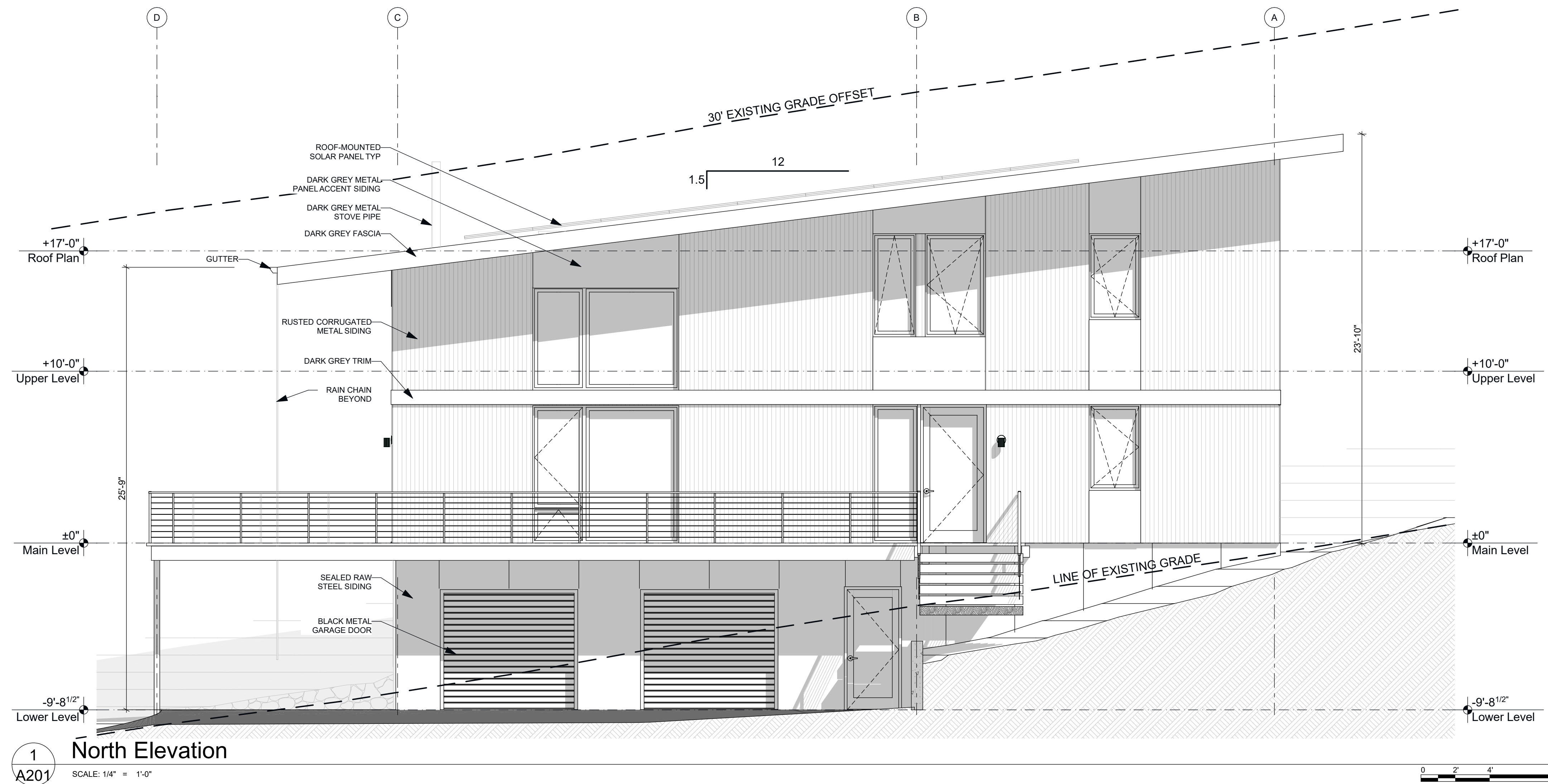
3 Garage Foundation
A105 SCALE: 1/4" = 1'-0"



1 Garage Plan
A105 SCALE: 1/4" = 1'-0"



2
A201
West Elevation
SCALE: 1/4" = 1'-0"



1
A201
North Elevation
SCALE: 1/4" = 1'-0"

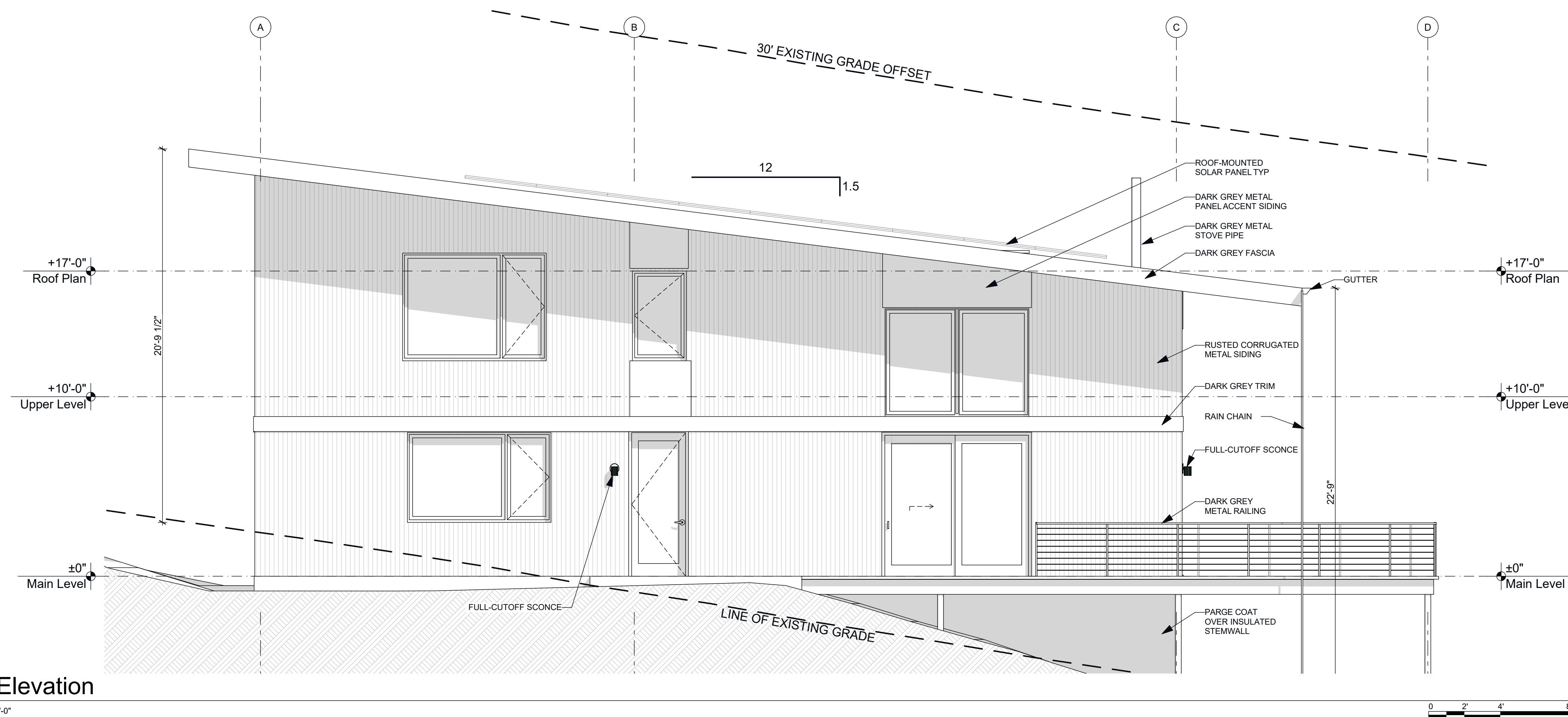
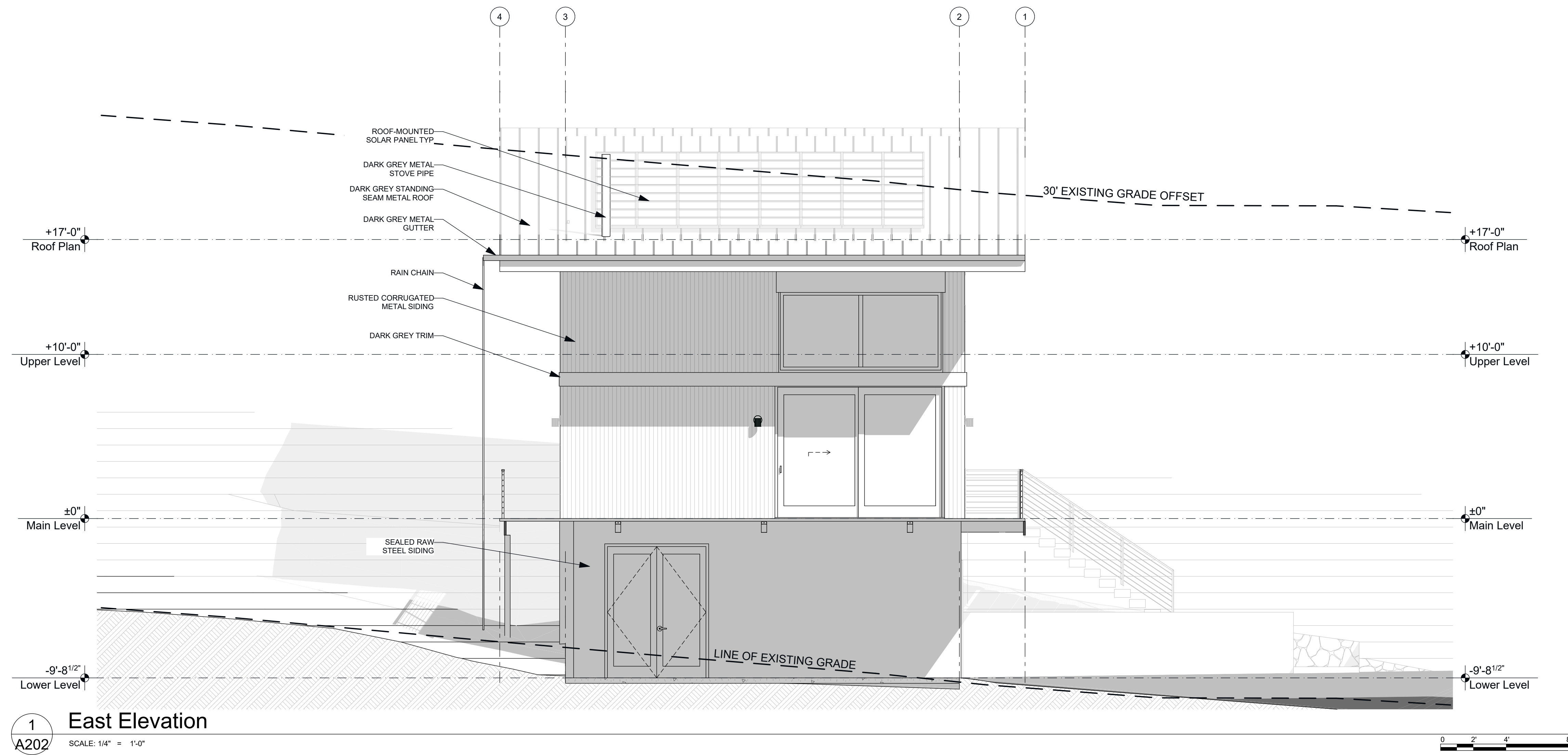
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North and West Elevations

A201



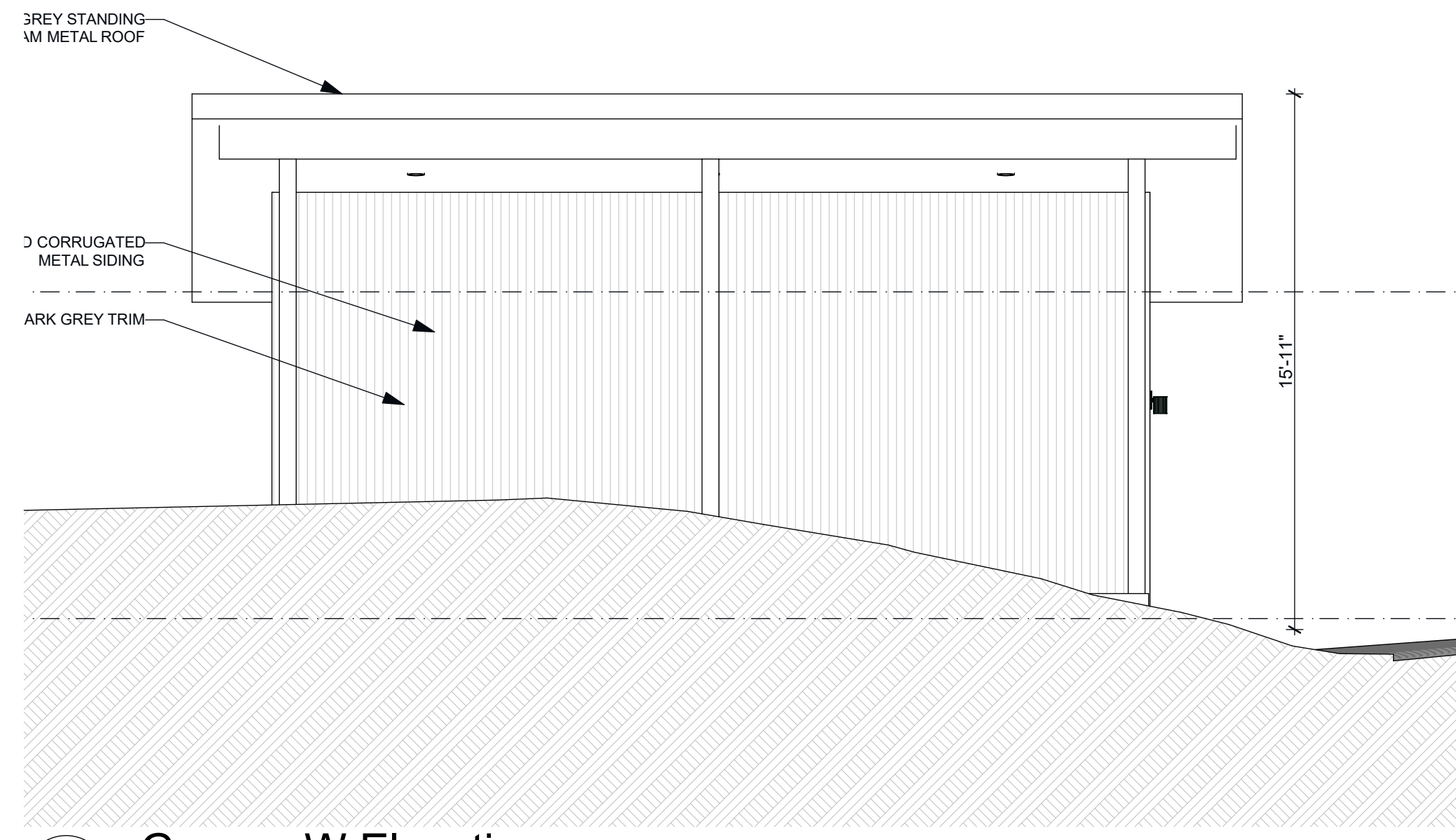
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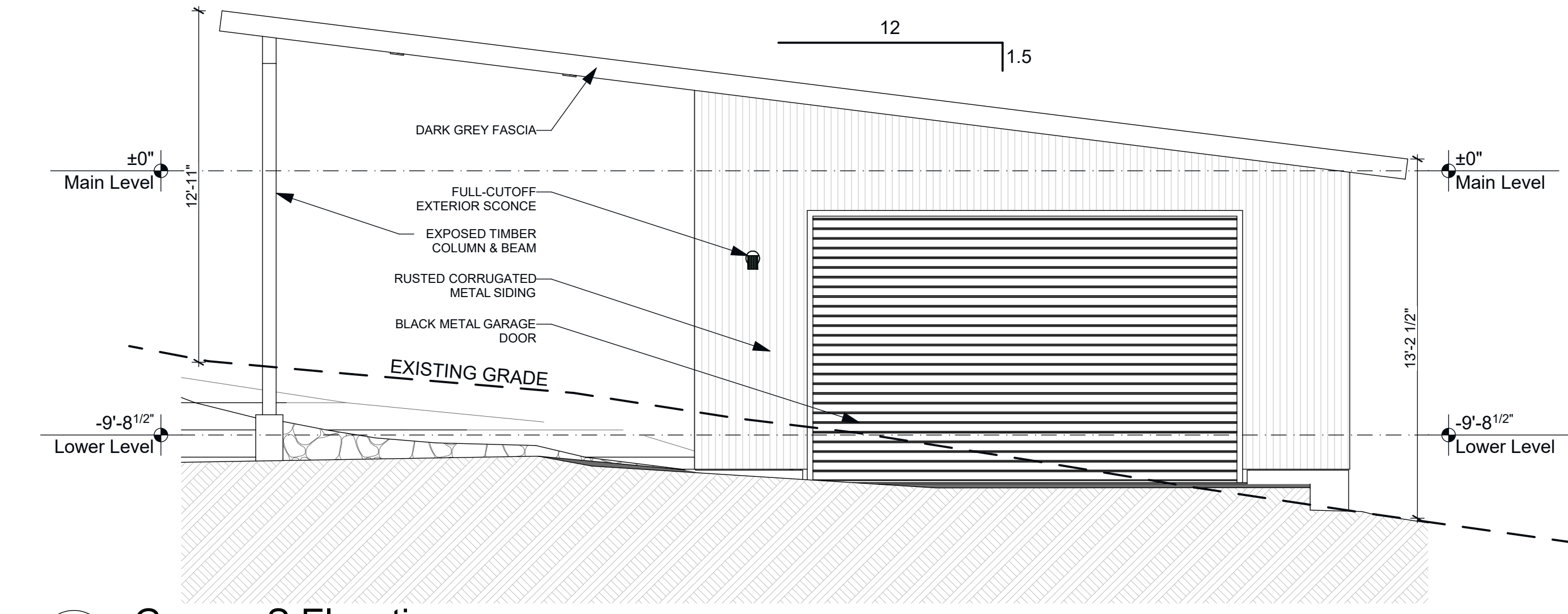
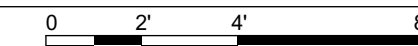
South and East Elevations

A202



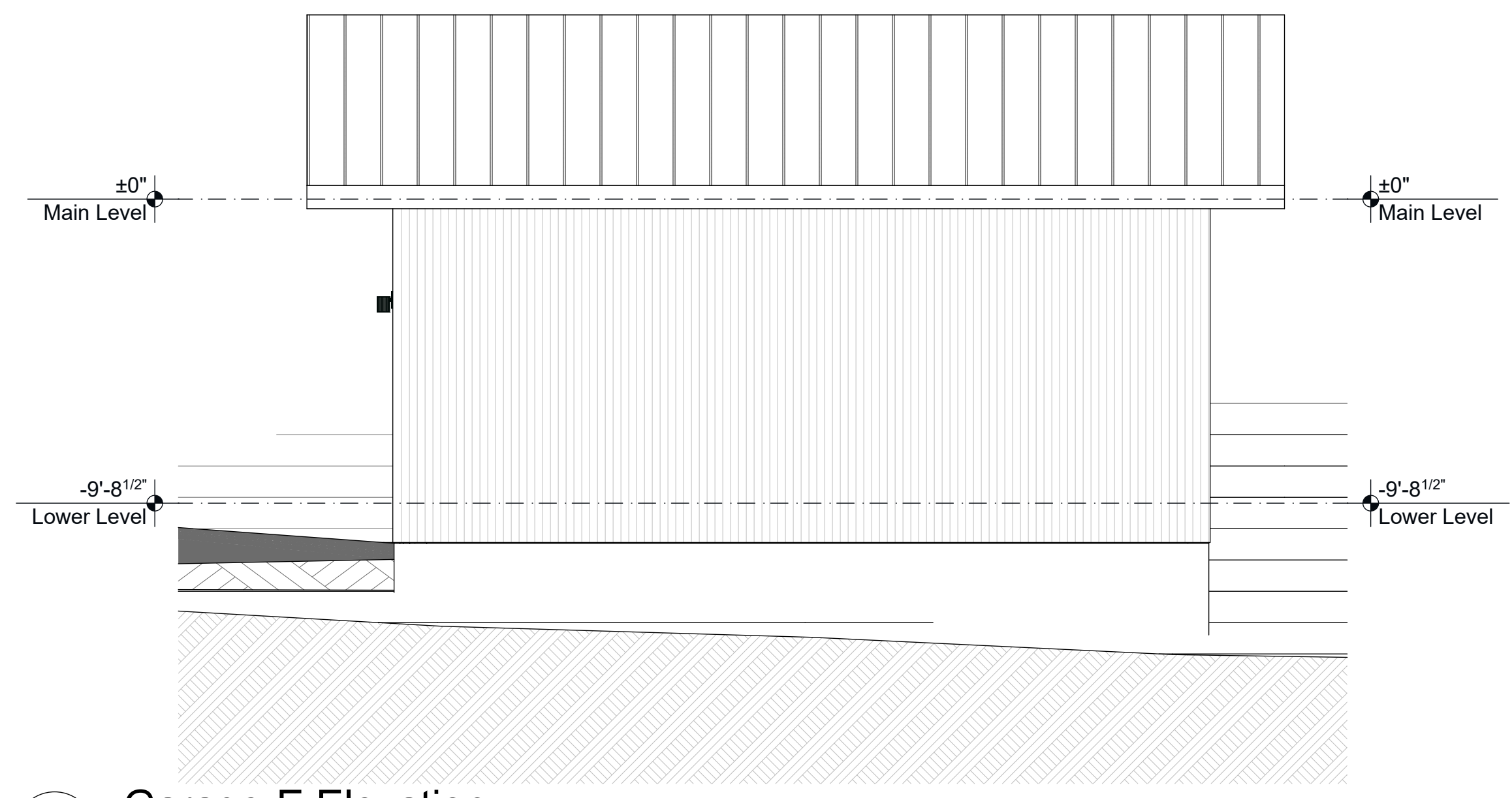
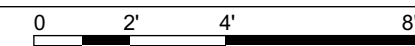
1 Garage-W Elevation

A203 SCALE: 1/4" = 1'-0"



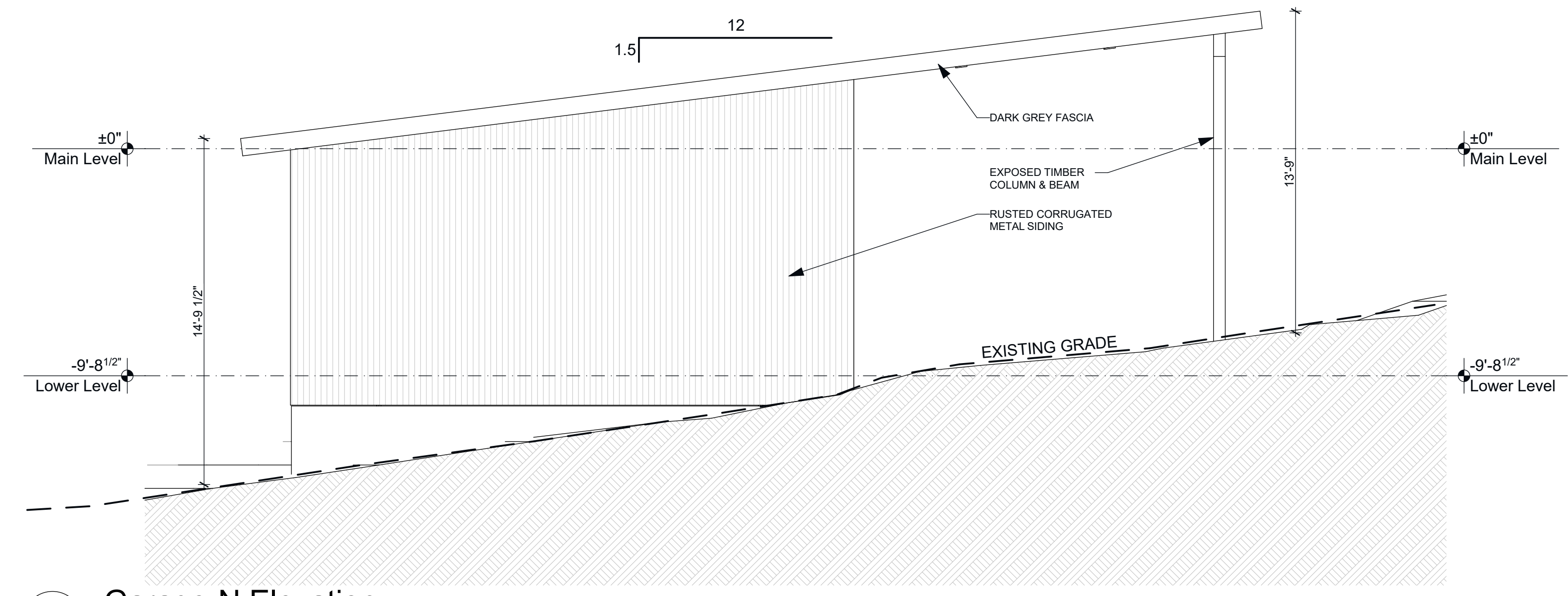
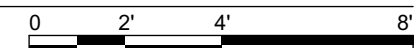
2 Garage-S Elevation

A203 SCALE: 1/4" = 1'-0"



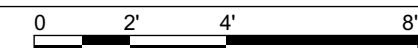
3 Garage-E Elevation

A203 SCALE: 1/4" = 1'-0"



4 Garage-N Elevation

A203 SCALE: 1/4" = 1'-0"



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Garage Elevations

A203